

**Route 7 Corridor Improvements Project**  
Wolf Trap Woods/Wolf Den HOA Meeting Minutes  
Dranesville District - Supervisor Foust's Office  
McLean Government Center  
1437 Balls Hill Road, McLean, VA 22101  
Dec. 16, 2019, 11 a.m.

**Attendees**

*See attached attendance list.*

- 1) Attendees introduced themselves.
- 2) Jeff Austin, Shirley Contracting Company, provided an updated presentation on noise walls, utility easements, and the stormwater management pond on/near Wolf Trap Woods/Wolf Den. *See attached slides.*
- 3) Questions/**Answers**/Discussion
  - a) Does the noise wall between Wolf Trap Run Road and Jill's House cover the pond? **Not completely. Noise wall K4 extends past Wolf Trap Woods property and covers most of the pond.**
  - b) Why is the storm drain set back 15 feet from Route 7? If the storm drain moves north towards the road, the power line could be moved 10 to 15 feet north. **The location of the storm drain along Route 7 is constrained by an 8" gas line.**
- 4) What does the green area on slides 8 and 9 indicate? Will everything in the green area be cleared? **The green areas indicate permanent drainage easements and will be cleared to accommodate the construction and maintenance.**
- 5) Will there be any effort to preserve trees? **Yes, the project team has spent several months minimizing the impacts of the utility easements, will provide a list of appropriate plantings to the HOA for selection, and will coordinate landscaping with the HOA.**
- 6) Can a wooden fence be installed for additional screening where the clearing is necessary? **This question is appropriate for discussion during the right of way process.**
- 7) If installed, would the HOA be responsible for maintaining the wooden fence? **Yes.**
- 8) Who will maintain the new landscaping? **If the plantings are within VDOT right of way, VDOT will maintain. If the plantings are on HOA property within the easement areas, the HOA will be responsible for maintenance.**
- 9) Regarding the design of the stormwater management pond, George Dove questioned the need to cut a 1:1 slope to perform construction of a gabion wall. **For safety's sake, a 1:1 slope would be required to facilitate the construction of the gabion wall.**
- 10) What will happen to the neighborhood monument sign and ornamental plantings? **If the sign and plantings are within the proposed right of way or easements, and the work cannot be performed without impacting the sign and plantings, the HOA will be compensated for the sign and plantings as part of the right of way process. In the next few weeks, the HOA will be contacted by Rob Elliott of Elliott Valuation to set**

up a site visit. Elliott Valuation is the appraiser working for the project's right of way consultant, Diversified Property Services. At the time of the site visit and during subsequent conversations with Diversified, the HOA will have the opportunity to discuss compensation for any impacts on the monument and plantings.

- 11) How close to the edge of the pond can plantings be placed? The entire slope can be landscaped.
- 12) When will the landscaping plans be done? The landscaping plans are expected to be developed in early 2020, most likely in March.
- 13) Will landscaping be installed on the road side of the pond? Yes. Arif Rahman noted that a black vinyl chain link fence will be installed one foot inside the right of way line around the pond.
- 14) Will there be landscaping inside the fence? Yes.
- 15) Is the fence only one foot high? No, the fence will be six feet high.
- 16) George Dove noted that the noise wall is good news, and that the update contained more good news than not. Additional discussion of easements may be requested by the community.
- 17) Arif Rahman noted that during the construction, project stall will be available to respond to complaints.
- 18) Will only four homes in Wolf Den get to vote on the noise wall? All benefited parcel owners and tenants will be given the opportunity to vote on the noise wall.
- 19) Is there a list of benefited parcels with contact information? No, regulations prohibit the dissemination of a contact list of benefited parcel owners and tenants; however, the Final Noise Analysis contains a map of the receptors.
- 20) On the map of receptors, do the blue and yellow dots indicate those parcels that will have a vote on the noise wall? Yes.
- 21) How many benefited receptors are in Wolf Den (walls K1-K4)? 23 plus any tenants.
- 22) How many benefited receptors are in Wolf Trap Woods? Three.
- 23) Is there a noise wall at Laurel Hill Road? Yes.
- 24) Arif Rahman noted that near Jarrett Valley Drive, the noise wall finish will match the existing noise wall at the intersection of Route 7 and Jarrett Valley Drive.
- 25) Will the tenants of the multi-family housing unit owned by Fairfax County near the existing noise wall at Jarrett Valley Drive be able to vote on the noise walls? Yes.
- 26) What is the response time for voting on the noise walls? Benefited parcel owners and tenants will be notified via certified mail and have 30 days to vote. If no response is received, a second letter will be sent via U.S. Mail to those who have not responded, after which they will have 20 days to vote.
- 27) Can the noise wall west of Jill's House be extended cover the pond? The project team will look into the feasibility of this request.
- 28) Will the pond be permanently wet? No.



703-356-0551  
Fax 703-821-4275  
TTY 711

E-mail: dranesville@fairfaxcounty.gov  
Web site: www.fairfaxcounty.gov/dranesville

# COMMONWEALTH OF VIRGINIA COUNTY OF FAIRFAX

McLean Governmental Center  
1437 Balls Hill Road  
McLean, VA 22101



JOHN W. FOUST  
DRANESVILLE DISTRICT SUPERVISOR

## Meeting Record

Date 12/16/2019

Topic Route 71 Wolf Trap

Name	Representing	Email	Phone
Nancy Hopkins	WTWHA EXTERNAL AFF.	nmthopkins@gmail.com	571-286-2418
Tara Paikin	WTWHA BOD	tpaikin@cox.net	703-899-5272
John L Dyer	WTWHA External Affairs	john_dyer@verizon.net	703-994-9697
TOM MANTEUFFEL	WTWHA BOD	mantef@verizon.net	703-821-4247
TAD BORKOWSKI	FC DOT	TAD.BORKOWSKI@FAIRFAXCOUNTY.GOV	703-877-5757
Jennifer Thomas	Shirley	jennifer.thomas@shirleycontracting.com	571-447-7742
Smitra Chellappa	FC DOT	smitra.chellappa@fairfaxcounty.gov	(703) 877-5761
Del. Kathleen Murphy		Delkmurphy@house.virginia.gov	571-294-7186
Senator Barbara Favok		District.31@Senate.Virginia.gov	804-698-1034
John Foust	Supervisor	John.Foust@fairfaxcounty.gov	703-356-0551
ARIF RAHMAN	VDOT	MD. RAHMAN@VDOT.VIRGINIA.GOV	703-259-1940
Allison Richter	VDOT	Allison.Richtere@VDOT.Virginia.gov	703-259-2604
Tom Biesiadny	FC DOT	Tom.Biesiadny@fairfaxcounty.gov	703-877-5663
Steven Welch	VDOT	steven.welch@vdot.virginia.gov	703-259-1778
Jenny Kaplan	Sup. Foust	jennifer.kaplan@fairfaxcounty.gov	703-356-0551
C. Michael Pruitt	VDOT- DB	Charles.Pruitt@vdot.virginia.gov	571.659.1981
Gregory Dyer	WTWHA	gtdyer@fcv.com	703-528-2277
Joy Volket	WTWHA	jvolket@fcv.com	703-506-8689



E-mail: [dranesville@fairfaxcounty.gov](mailto:dranesville@fairfaxcounty.gov)  
Web site: [www.fairfaxcounty.gov/dranesville](http://www.fairfaxcounty.gov/dranesville)

McLean Governmental Center  
1437 Balls Hill Road  
McLean, VA 22101



Name	Representing	Email	Phone
JEFFREY AUSTIN	SHIRLEY	JAUSTIN@SHIRLEYCONTRACTING.COM	703-856-3862
Steve Kuntz	Dewberry	SKuntz@dewberry.com	703-289-4796



# ROUTE 7 CORRIDOR IMPROVEMENTS PROJECT

RESTON AVENUE TO JARRETT VALLEY DRIVE

VDOT Meeting with Supervisor Foust and Wolf Trap Woods HOA

| Route 7 Project Team (VDOT/Shirley/Dewberry)

December 16, 2019

# Agenda



- Introductions
- Noise Walls
- Storm Drainage and Utility Easements
- Road Drain Design at Wolf Trap Run Road
- Stormwater Management Pond
- Landscaping
- Open Discussion

# Noise Walls

## FHWA-Mandated Process



- Preliminary Noise Analysis was performed prior to contract award.
- Final Noise Analysis was performed post-contract award.
- The Final Noise Analysis was reviewed and approved by both VDOT and FHWA.
- Noise walls must be “*warranted, feasible and reasonable*”.
- Letters will be mailed in January 2020. Expect resolution by Spring 2020.
- Benefitted property owners/tenants vote on proposed noise walls—at least 50% of respondents must favor construction.

WE ARE HERE



# Noise Walls

## Proposed Noise Barrier Locations



- Barriers K3 and K4 extend the full length of Wolf Trap Woods property.
- Subject to approval by the benefitted receptors.



# Noise Walls

## Proposed Noise Barrier Locations



- Barriers N1 and N2 on east end of Wolf Trap Woods property.
- Subject to approval by the benefitted receptors.



# Architectural Treatment on Noise Barriers



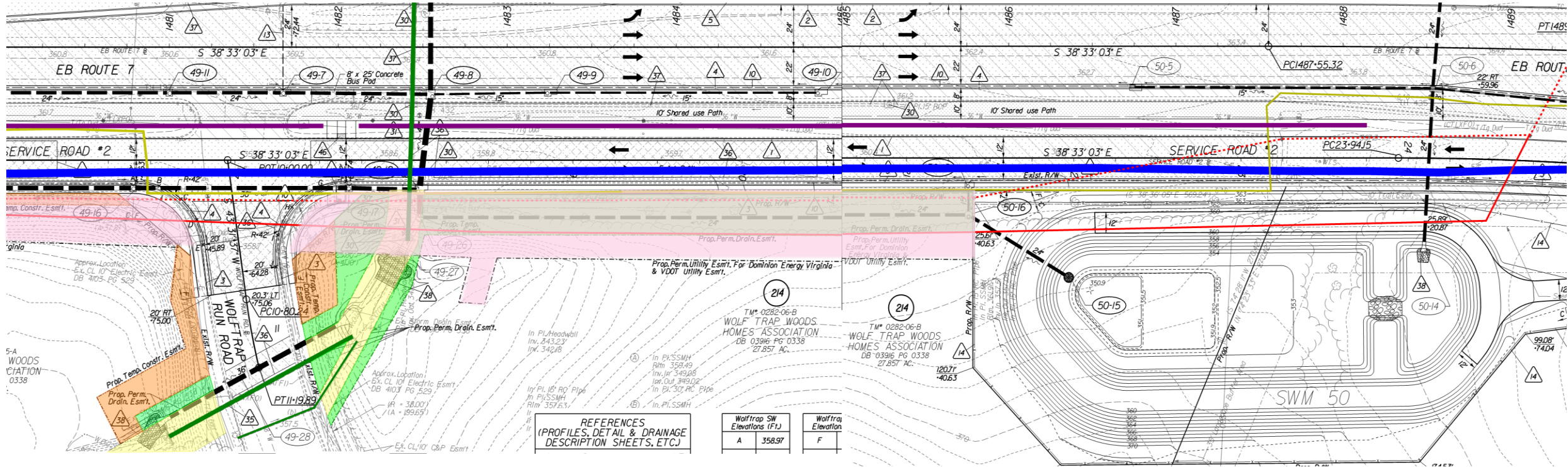
- Concrete Posts and Panels
- Roadway Side: Virginia Dogwood Pattern above Ashlar Stone
- Residential Side: Full Height Ashlar Stone Pattern

Roadway Side

*Images and finishes are representative renderings.*

# Noise Walls

## Easements Along Wolf Trap Woods Frontage

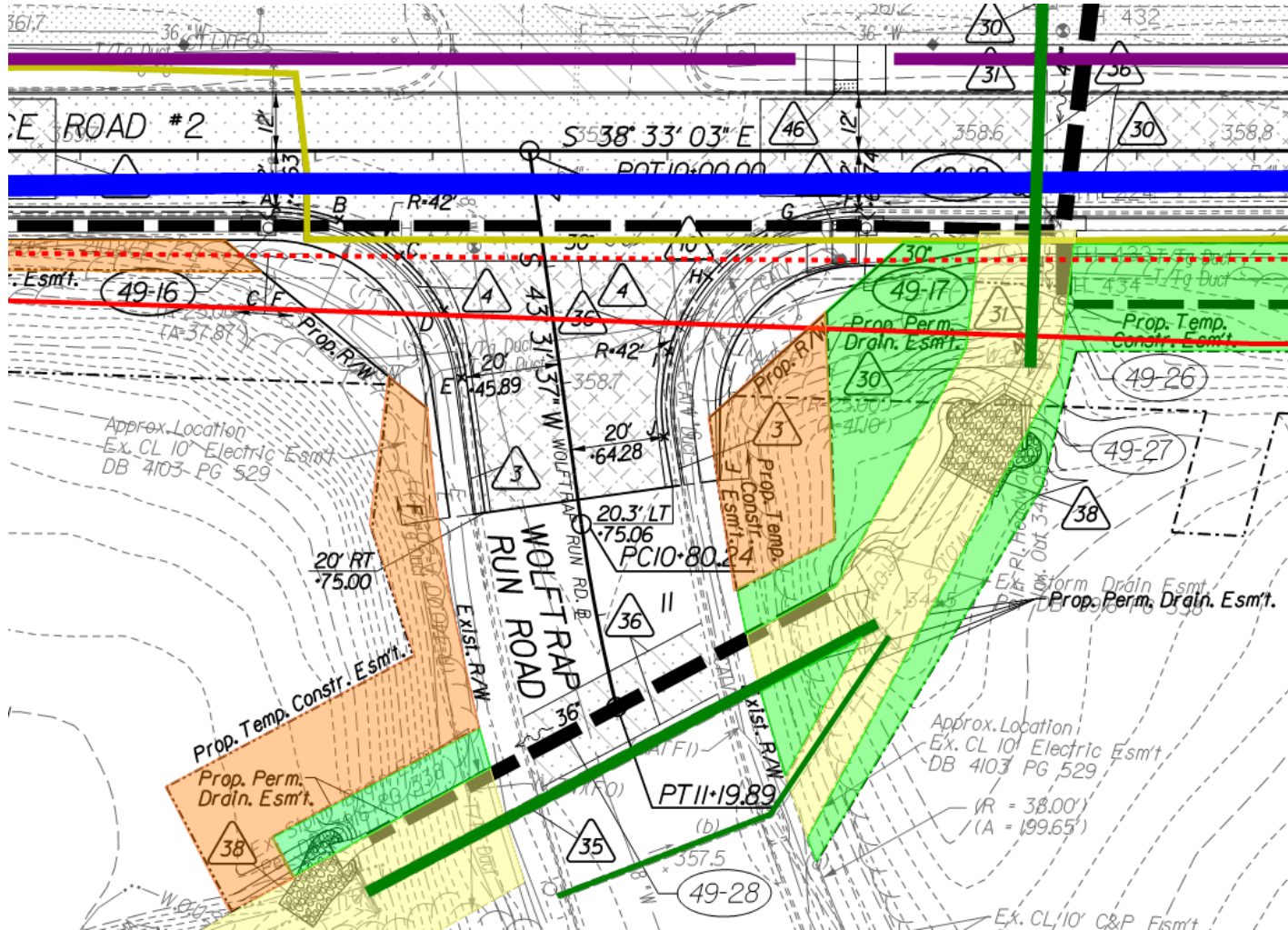


- Storm alignments selected to avoid existing underground utilities
- 30' Dominion Power easement overlaps proposed storm drainage easement



# Noise Walls

## Storm Pipe under Wolf Trap Run Road



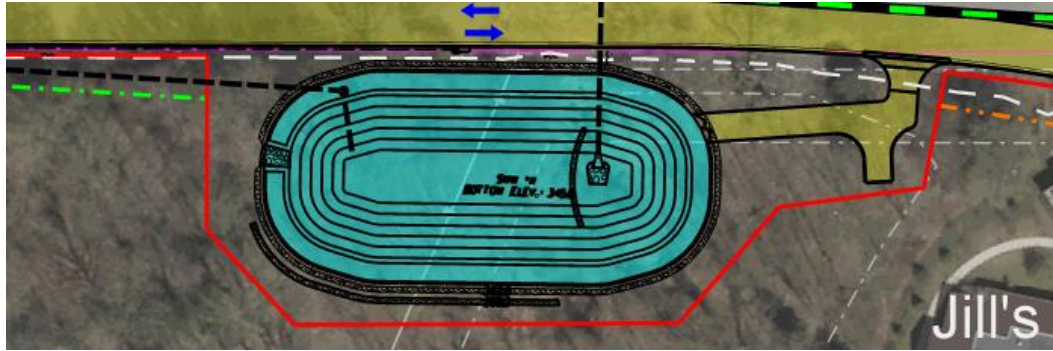
- Existing drainage pipes
- Proposed drainage
- Permanent drainage easements
- Temporary Construction Easements
- Existing Easements

Temporary easement areas can be landscaped at the end of the project.

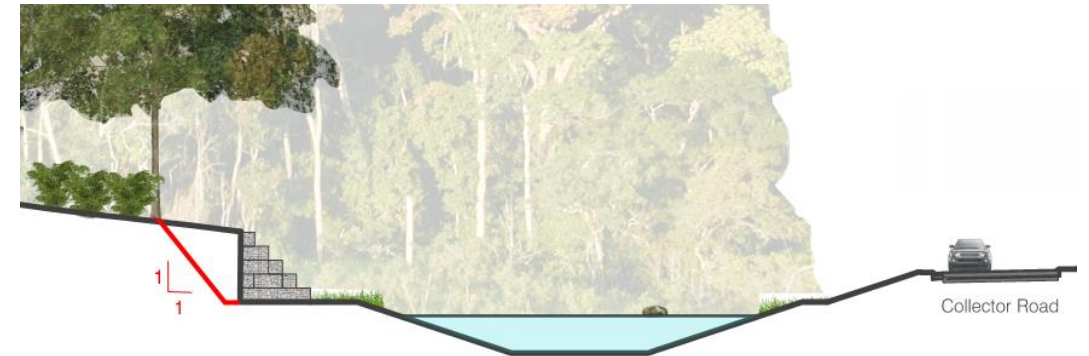
# Stormwater Management Pond



Public Hearing Display, Nov. 15, 2016



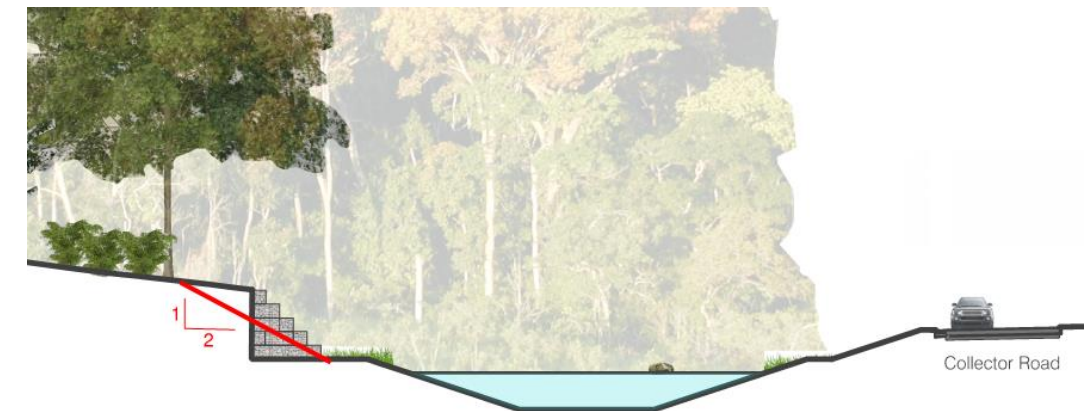
Cross Section



Current Design



Cross Section



# Landscaping



- Contract provides for landscaping as follows:
  - As screening for stormwater management ponds
  - Additional planting along Route 7
- Landscaping plan to be developed spring 2020.
- Design-Build team to offer list of appropriate plantings to Wolf Trap Woods HOA for selection.

# Open Discussion

[connectroute7.org](https://connectroute7.org)

[ConnectRoute7@vdot.virginia.gov](mailto:ConnectRoute7@vdot.virginia.gov)

Hotline (24/7) 833-777-7411